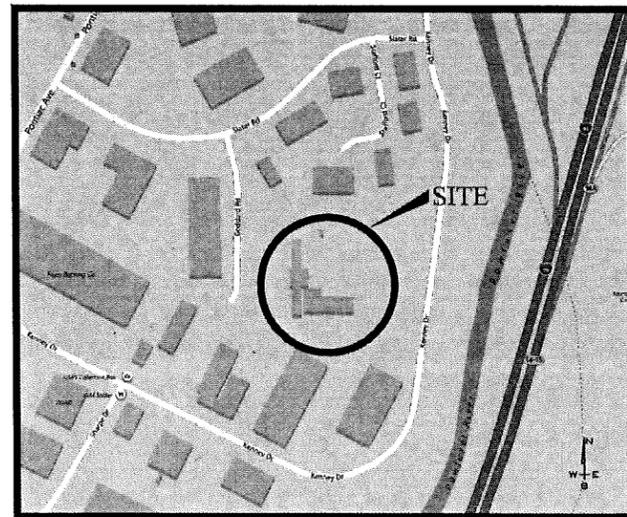


PRELIMINARY/ DPR SUBMISSION

# SITE PLANS

FOR

## 20 GODDARD DRIVE WAREHOUSE



LOCUS MAP  
NOT TO SCALE

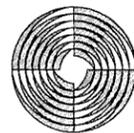
A.P. 13, LOT 39  
20 GODDARD DRIVE  
CRANSTON, RI 02920

PREPARED FOR:  
20 GODDARD LLC  
10 GREENE STREET  
PROVIDENCE, RI 02903

PLAN SHEET LEGEND

SHEET	PLAN TITLE	LATEST REVISION
	COVER SHEET	
G-1	AERIAL PLAN	
C-1	GENERAL NOTES & LEGEND	
C-2	DEMOLITION PLAN	
C-3	SITE LAYOUT PLAN	
C-4	GRADING & UTILITIES PLAN	
C-5	SOIL EROSION & SEDIMENTS CONTROL PLAN	
C-6	CONSTRUCTION DETAILS - 1	
C-7	CONSTRUCTION DETAILS - 2	
C-8	CONSTRUCTION DETAILS - 3	
C-9	CONSTRUCTION DETAILS - 4	
C-10	CONSTRUCTION DETAILS - 5	
C-11	CONSTRUCTION DETAILS - 6	
L-1	LANDSCAPE PLAN	
L-2	LANDSCAPE DETAILS	
	REFERENCE PLANS	
ECS	LIGHTING PLAN	
	EXISTING CONDITIONS PLAN	

PREPARED BY:

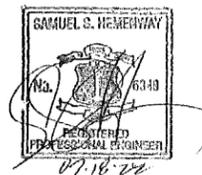


**GAROFALO**

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS \ SURVEYORS  
LAND PLANNERS \ ENVIRONMENTAL SCIENTISTS  
85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, RI 02940  
(PH) 401-273-6000 (FX) 401-273-1000

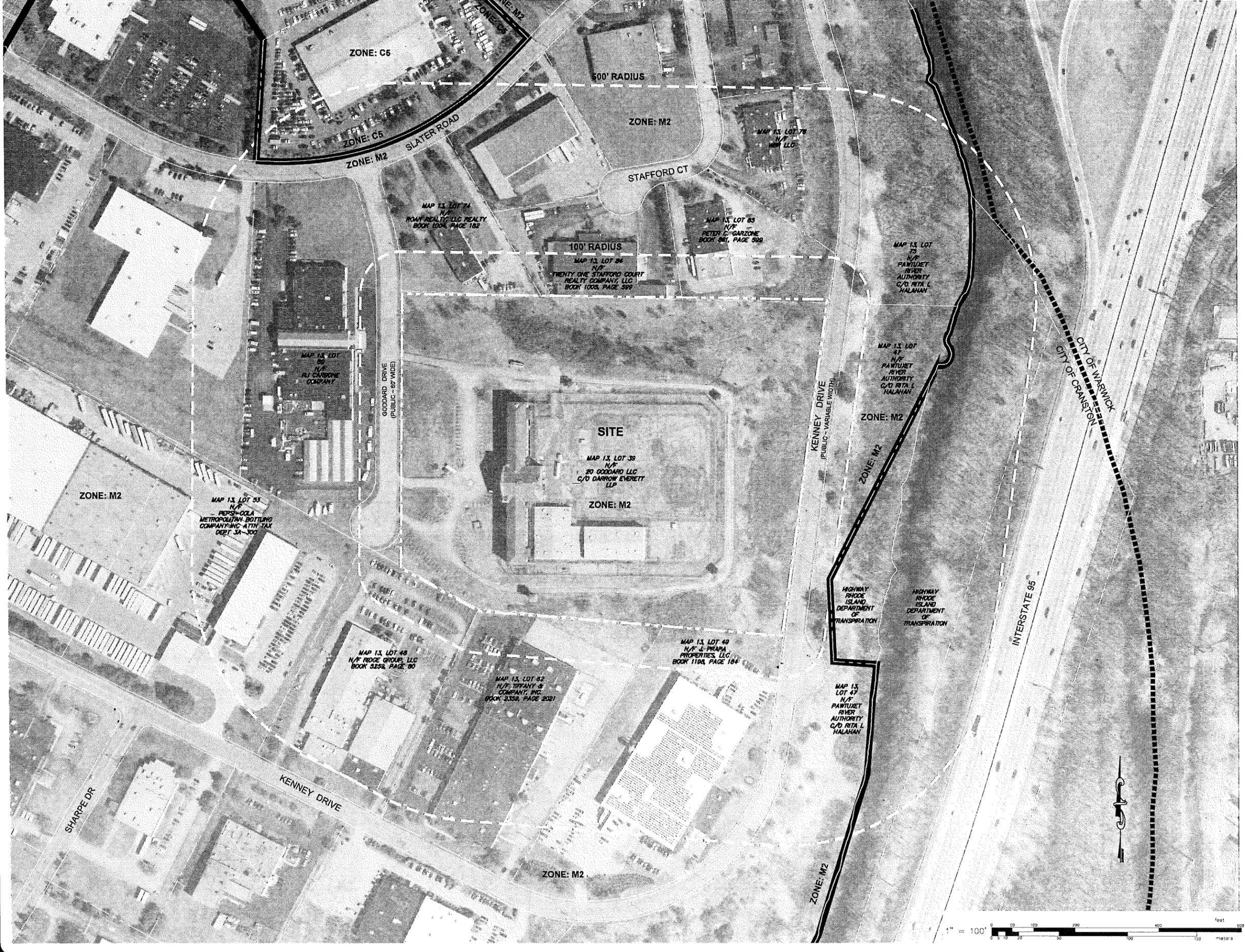
DATED:

JULY, 2022



JOB NO.7287-00  
1 OF 13 SHEETS

L:\2022-00 Goddard Warehouse (Churchill & Burns) - Cranston, RI\Drawings\01-Current\2022-00-Memo Map.dwg 07/16/2022 10:45:15 AM



AERIAL MAP  
 FOR  
 A.P. 13, LOT 39  
 SITUATED AT  
 20 GODDARD DRIVE  
 CRANSTON, RHODE ISLAND  
 PREPARED FOR  
 20 GODDARD LLC

NO.	REVISION	BY	DATE

ISSUED FOR  
 PERMIT ONLY

**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

Garofalo & Associates ©  
 These drawings are the property of  
 the firm and are not to be  
 prepared for the owner, for this  
 project at this site and are not to  
 be used for any other project  
 location or owner without written  
 consent of this owner or one of its  
 directors.

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7188.00-Aerial Map.dwg	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET

**G1**

2 OF 13 SHEETS



**GENERAL CONSTRUCTION NOTES:**

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2. SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING: DEMOLITION PERMITS, SITE PLAN APPROVAL BY THE CITY OF CRANSTON, RIDEM STORMWATER CONSTRUCTION PERMIT AND WATER QUALITY CERTIFICATION, CRANSTON SEWER AND VEOLIA WATER NORTH AMERICA CONNECTION PERMIT, PROVIDENCE WATER SUPPLY BOARD CONNECTION PERMIT, CRANSTON MAJOR LAND DEVELOPMENT PERMIT, AND CRANSTON ZONING VARIANCE.
3. THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
6. THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION OR EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF CRANSTON AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION, THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AS AMENDED, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
9. THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
10. ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
11. AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
12. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
13. HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. (REFER TO ELECTRICAL SITE PLANS PREPARED BY OTHERS FOR DETAILS.)
14. ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
15. ALL WORK WITHIN THE STATE HIGHWAY RIGHT-OF-WAY SHALL CONFORM TO RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, INCLUDING ALL REVISIONS AND THE RI STANDARD DETAILS.
16. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
17. REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
18. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

**GENERAL DRAINAGE & GRADING NOTES:**

1. ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINE (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS, BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
2. ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
3. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
4. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH NOTES AND SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

**GENERAL UTILITY NOTES:**

1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE PROVIDENCE WATER SUPPLY BOARD & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
3. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5. THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
6. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D998). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
8. IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO GRADE.
9. PROPOSED WATER PIPING SHALL BE CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYRUST JOINTS. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THROUST BLOCKS AND "WEG-ALLUG" GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE CITY OF CRANSTON WATER DIVISION REGULATIONS, STANDARDS AND SPECIFICATIONS. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF CRANSTON WATER DIVISION REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. WATER SERVICE PIPING SIZE SHOWN IS APPROXIMATE ONLY AND SHALL BE SIZED AND VERIFIED BY A LICENSED FIRE PROTECTION ENGINEER AND OR LICENSED PLUMBING ENGINEER.
10. ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHAL AND/OR THE BUILDING OFFICIAL.
11. ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE CRANSTON SEWER DEPARTMENT AND VEOLIA WATER NORTH AMERICA REGULATIONS STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE CITY OF CRANSTON AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
12. SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. WHERE BUILDING SERVICES ARE INDICATED, THEY SHALL BE CONSTRUCTED AT A CONTINUOUS GRADE NOT LESS THAN 1/4" PER FOOT (0.02 FT/FT). CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER TO PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES. SEE DETAIL SHEETS FOR ADDITIONAL NOTES AND REQUIREMENTS. SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. SEWER CONNECTION TO THE PROPERTY LINE SHALL BE PERFORMED BY THE CRANSTON SEWER DEPARTMENT AND PAID FOR BY THE OWNER. THE CONTRACTOR SHALL INSTALL CLEANOUTS AT THE BUILDING FACE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH W.S.A. REQUIREMENTS.
13. WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN EITHER DUCTILE IRON OR #900 BLUE BRUTE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
14. WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
15. STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEEDING ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS. ROOF DRAINS SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED OR APPROVED. ROOF DRAINS SHALL BE SLOPED AT 0.01 FT/FT MINIMUM SLOPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS.
16. GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS IS REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
17. ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS IS REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
18. TELEPHONE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
19. SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTOMETRICS PLAN TO THE CITY OF CRANSTON PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICATIONS OF THE CITY. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS.
20. WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE CITY OF CRANSTON PUBLIC OR PRIVATE RIGHT-OF-WAYS, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT & WALKWAYS DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER LOCAL CITY/TOWN AND STATE STANDARDS AND SPECIFICATIONS.

**STORMWATER SYSTEM MAINTENANCE NOTES:**

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

1. SILT BARRIER: MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
2. PAVED AREAS: PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
3. CATCH BASINS: ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
4. DRAIN MANHOLES: DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
5. STORMWATER BMPs: NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPs UNTIL UP-GRADIENT AREAS ARE STABILIZED.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

1. PAVED AREAS: PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR, OR AS NECESSARY.
2. CATCH BASINS: ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATES ARE NOT DAMAGED, AND ANY OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
3. DRAIN MANHOLES: ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
4. STORMWATER MANAGEMENT FACILITIES -- REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER. (NOTE: A LEGALLY ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED IF THE PROPERTY OWNER IS NOT THE PARTY RESPONSIBLE FOR BMP MAINTENANCE AS PRESCRIBED)

**INFILTRATION AREA CONSTRUCTION PROTECTION**

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

1. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
2. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

**ENVIRONMENTAL PROTECTION NOTES:**

1. THE PROJECT SITE IS NOT DOCUMENTED BY THE RHODE ISLAND NATURAL HERITAGE SURVEY AS BEING WITHIN A NATURAL HERITAGE AREA CONTAINING ANY RARE OR ENDANGERED PLANTS OR ANIMALS.
2. THE PROJECT SITE IS NOT DOCUMENTED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) GEOGRAPHIC INFORMATION SYSTEM (GIS) MAPPING AS BEING WITHIN AN AREA CONTAINING HAZARDOUS ENVIRONMENTAL CONDITIONS.

**PLAN REFERENCES:**

1. A PLAN ENTITLED "BOUNDARY SURVEY PLAN FOR A.P. 13, LOT 39 SITUATED ON 20 GODDARD ROAD CRANSTON, RHODE ISLAND; PREPARED FOR RHODE ISLAND DEPARTMENT OF ADMINISTRATION, PREPARED BY GAROFALO & ASSOCIATES, INC. DATED AUGUST, 2018. JOB #7166-00, DWG. NO. 7166-00-BNDY.DWG.
2. A. HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83  
B. THE EXISTING CONTOURS INDICATED HEREIN IS PREPARED FROM GIS INFORMATION ONLY.

**SITE PLAN LEGEND (RIDOT):**

BMP	BITUMINOUS CONCRETE PAVEMENT	9.9.0	CONSTRUCTION ENTRANCE
CM	CUT AND MATCH PAVEMENT	20.1.0	PAVEMENT MARKINGS ARROWS & 'ONLY'
LSD	LIMIT OF DISTURBANCE	43.3.0	WHEELCHAIR RAMP
4"	4" LOAM AND SEEDING, TYPE 2	48.1.0	DETECTABLE WARNING SYSTEM
SACK	SILT SACK INVERT PROTECTION	4"W	4-INCH WHITE PAVEMENT MARKINGS
7.1.0	PRECAST CONCRETE CURB	12"W	12-INCH WHITE PAVEMENT MARKINGS
9.2.0	SILT FENCE		

**SITE LEGEND**

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		FIRE SERVICE
		FOOTING DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		SPOT GRADE (BOT. OF CURB)
		SPOT GRADE (TOP OF CURB)
		SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		BITUMINOUS CONC. CURB
		CAPE COD BERM
		PRECAST CONC. CURB
		PRECAST SLOPED MOUNT. CURB
		SLOPED GRANITE CURB
		VERTICAL GRANITE CURB
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STK)
		BORING LOCATION
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THROUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
		WETLAND
		SOIL EVALUATION LOCATION
		TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE (PIV)
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		GROUND CLEANOUT
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		LIMIT OF DISTURBANCE
		CONTINUOUS ROW OF SILT SOCKS
		PAVEMENT SAWCUT & MATCH TO EXISTING
		RIDOT STD DETAIL REFERENCE

**ABBREVIATIONS**

CI	CAST IRON PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
CTE	POINT OF CONNECTION TO EXISTING
DJ	DUCTILE IRON PIPE
ESHWT	ESTIMATED SEASONAL HIGH WATER TABLE
ETR	EXISTING TO REMAIN
EX	EXISTING
FBI	FURNISH AND INSTALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VF	VERIFY IN FIELD
WQS	WATER QUALITY STRUCTURE

**GENERAL NOTES & LEGEND**  
 FOR  
 A.P. 13, LOT 39  
 SITUATED AT  
 20 GODDARD DRIVE  
 CRANSTON, RHODE ISLAND  
 PREPARED FOR  
 20 GODDARD LLC

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT ONLY

**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

These drawings are the property of Garofalo & Associates, Inc. and are prepared for the owner. They are not to be reproduced, copied, or used in any project without the written consent of the owner or one of its directors.

85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL: 401-273-6000

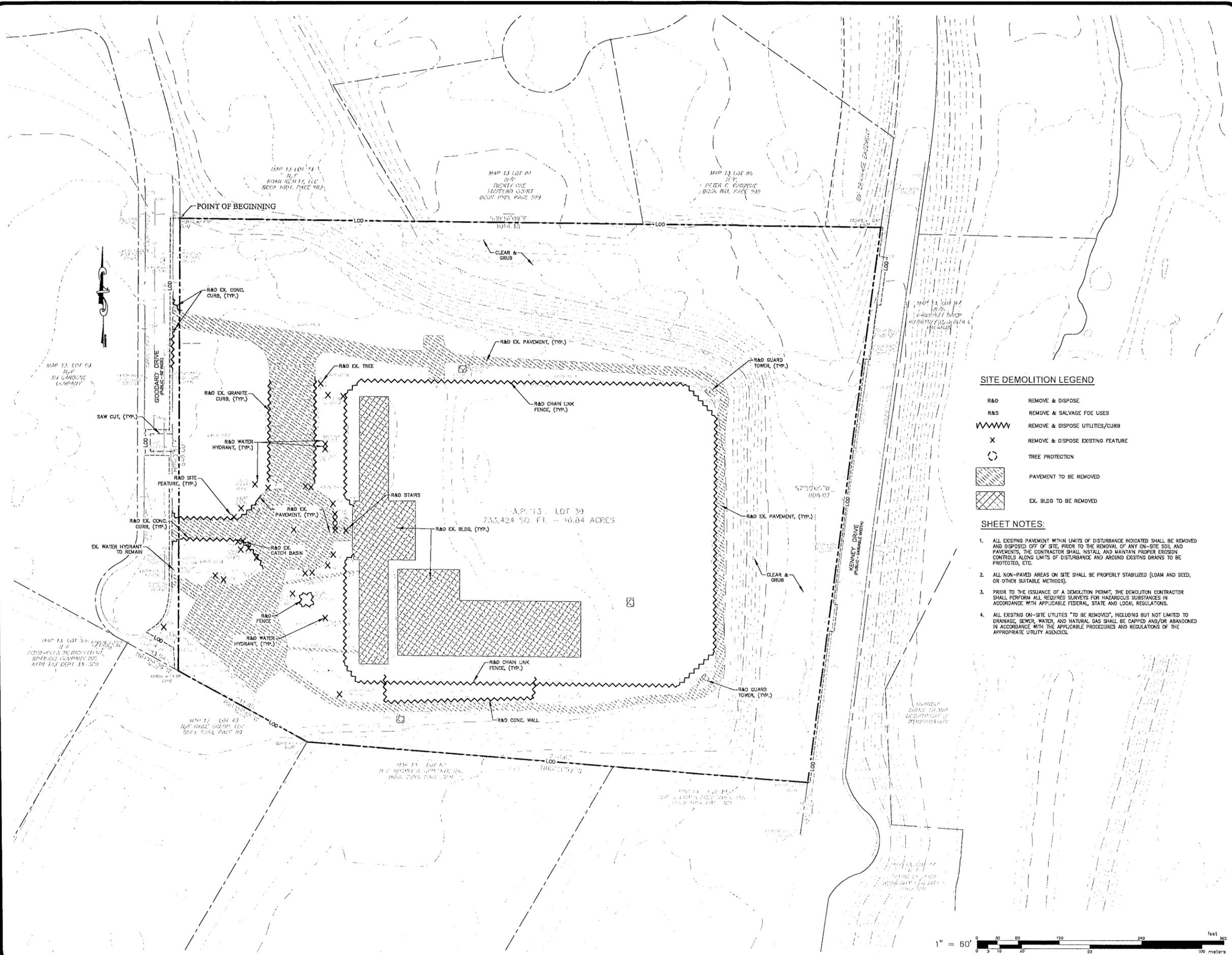
JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Cover.dwg	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET

C-1

3 OF 13 SHEETS

L:\287-00 Goddard Warehouse (Churchill & Bono) - Cranston, RI\287-00-DEM0.dwg 07/19/2022 kimgong 1:44



**SITE DEMOLITION LEGEND**

- R&D REMOVE & DISPOSE
- R&S REMOVE & SALVAGE FOR USES
- ~~~~~ REMOVE & DISPOSE UTILITIES/CURB
- X REMOVE & DISPOSE EXISTING FEATURE
- TREE PROTECTION
- ▨ PAVEMENT TO BE REMOVED
- ▩ EX. BLDG. TO BE REMOVED

**SHEET NOTES:**

1. ALL EXISTING PAVEMENT WITHIN LIMITS OF DISTURBANCE INDICATED SHALL BE REMOVED AND DISPOSED OFF OF SITE. PRIOR TO THE REMOVAL OF ANY ON-SITE SOIL AND PAVEMENTS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS ALONG LIMITS OF DISTURBANCE AND AROUND EXISTING DRAINS TO BE PROTECTED, ETC.
2. ALL NON-PAVED AREAS ON SITE SHALL BE PROPERLY STABILIZED (LOAM AND SEED, OR OTHER SUITABLE METHODS).
3. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, THE DEMOLITION CONTRACTOR SHALL PERFORM ALL REQUIRED SURVEYS FOR HAZARDOUS SUBSTANCES IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
4. ALL EXISTING ON-SITE UTILITIES "TO BE REMOVED", INCLUDING BUT NOT LIMITED TO DRAINAGE, SEWER, WATER, AND NATURAL GAS SHALL BE CAPPED AND/OR ABANDONED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES AND REGULATIONS OF THE APPROPRIATE UTILITY AGENCIES.



**DEMOLITION PLAN**  
 FOR  
**A.P. 13, LOT 39**  
 SITUATED AT  
**20 GODDARD DRIVE**  
**CRANSTON, RHODE ISLAND**  
 PREPARED FOR  
**20 GODDARD LLC**

NO.	REVISION	BY	DATE

**ISSUED FOR PERMIT ONLY**

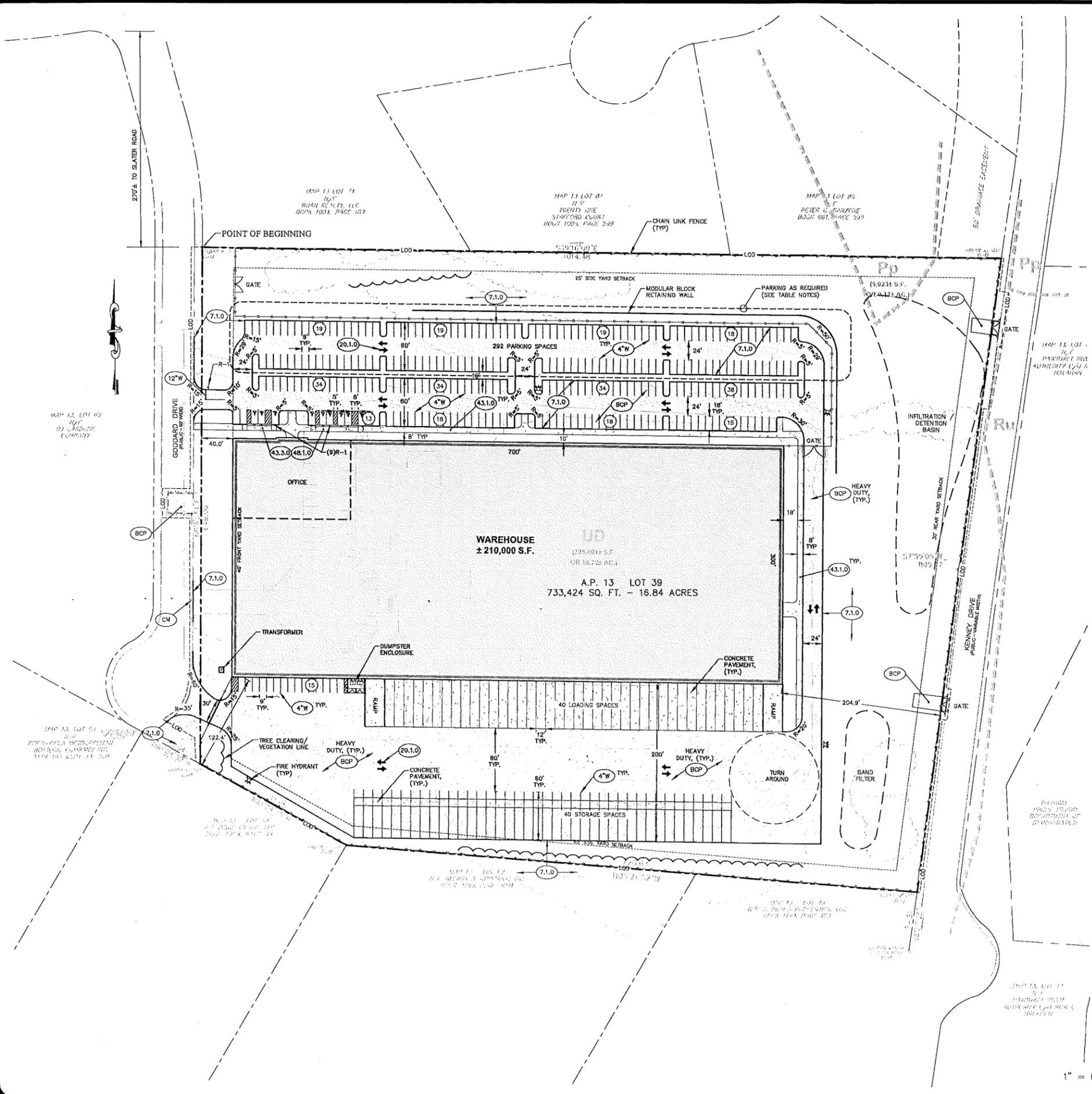
**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**LAND PLANNERS/ENVIRONMENTAL SCIENTISTS**  
 85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

These drawings are the property of Garofalo & Associates, Inc. and are not to be reproduced, copied, or used in any way without the written consent of this owner or one of its directors.

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-DEMO.dwg	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET  
**C-2**  
 4 OF 13 SHEETS

L:\7287-00 Goddard Warehouse (Churchill & Barnes) - Cranston, RI\dwg\01-CURRENT\7287-00-Bosa.dwg 07/19/2022 kjr:mpg 1:145



DEVELOPMENT SUMMARY			
ASSESSORS MAP 13, LOT 39			
ZONING: INDUSTRIAL M-2 (M2)			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
SITE DATA			
LOT AREA	80,000 S.F.	733,424 S.F. (± 16.74 Ac.)	733,424 S.F. (± 16.74 Ac.)
DIMENSIONAL REQUIREMENTS			
FRONTAGE	200'	649'	SAME
FRONT YARD	40'	>40'	±40.0'
REAR YARD	30'	>40'	±204.9'
SIDE YARD	25'	>25'	±122.4'
MAX. LOT COVER	60%	<60%	28.6% (1)
MAX. BLDG HEIGHT	35'	<35'	<35'
LANDSCAPE REQUIREMENTS			
LANDSCAPE REQUIRED			PROPOSED
15 PERCENT OF DEVELOP PARCEL			>15%
PARKING REQUIREMENTS			
PARKING REQUIRED			PROPOSED
ESTABLISHMENTS PROCESSING: 1 SP FOR EACH EMPLOYEE OR 1 SP FOR EACH FOUR EMPLOYEES AT MAX. EMPLOYMENT (2)			292 SPACES (3)
LOADING REQUIREMENTS			
LOADING REQUIRED			PROPOSED
NON-RESIDENTIAL: 1 PER BUILDING			40 LOADING BASES 40 STORAGE SPACES

**TABLE NOTES:**

- LOT COVER (STRUCTURAL):  
PROPOSED BUILDING COVERAGE: ±210,000 S.F.  
= 210,000 S.F. / 733,424 S.F. = 28.6%
- PARKING REQUIREMENTS (17,64,010.121): \*WHOLESALE ESTABLISHMENTS, ESTABLISHMENTS PROCESSING FOR DIRECT CONSUMPTION AND INDUSTRIAL DISTRICT USES: ONE SPACE FOR EACH EMPLOYEE-USED VEHICLE OR ONE SPACE FOR EACH FOUR EMPLOYEES EMPLOYED AT MAXIMUM EMPLOYMENT, WHICHEVER IS GREATER; PLUS SPACE FOR EVERY COMPANY OWNED AND OPERATED VEHICLE PLUS SPACES FOR CUSTOMERS' VEHICLES AS DETERMINED APPROPRIATE BY THE INSPECTOR OF BUILDINGS.\*
- A PORTION OF THE PARKING SHOWN MAY BE RESERVED AS FUTURE EXPANSION BASED ON FINAL TENANT REQUIREMENTS.

**SHEET NOTE:**

- SEE SHEET C-1 FOR NOTES & LEGEND.

**SOIL LEGEND**

U1	UPDORTMENTS - URBAN LAND COMPLEX
P1	PODIATUCK FINE SANDY LOAM



**SITE LAYOUT**  
 FOR  
**A.P. 13, LOT 39**  
 SITUATED AT  
**20 GODDARD DRIVE**  
**CRANSTON, RHODE ISLAND**  
 PREPARED FOR  
**20 GODDARD LLC**

NO.	REVISION	BY	DATE

**ISSUED FOR PERMIT ONLY**

**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
 85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02540  
 TEL. 401-273-6000

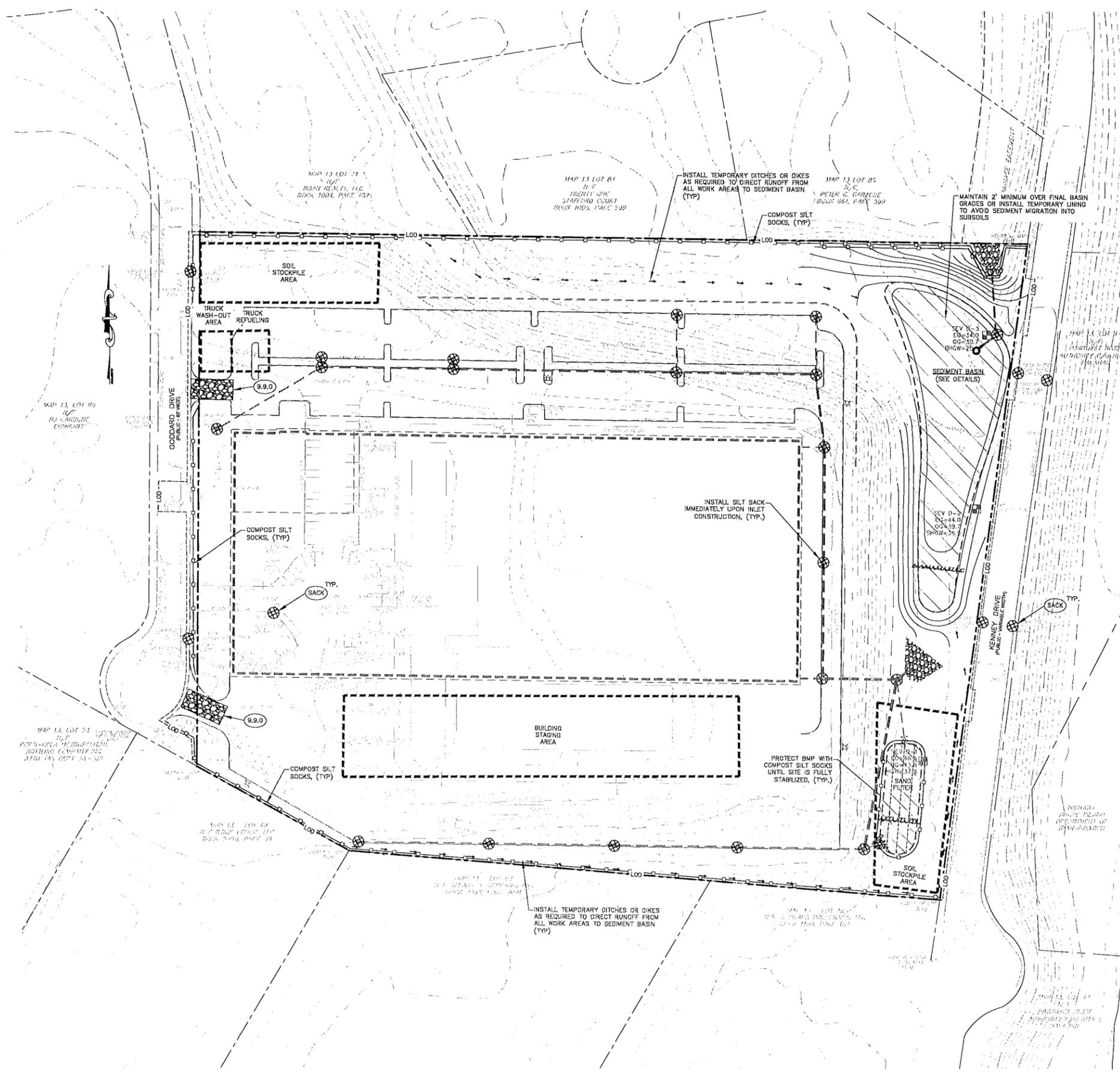
Garofalo & Associates ©  
 these drawings are the property of  
 the firm and are not to be  
 prepared for the owner, for this  
 project or for any other project  
 without the written consent of  
 the owner or one of its  
 directors.

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Bosa.dwg	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

**C-3**  
 SHEET  
 5 OF 13 SHEETS



L:\7287-00 Goddard Warehouse (Churchill & Bane) - Cranston, RI\env\01-Curren\7287-00-Base.dwg 07/15/2022 kjr/eng 1424



**EROSION CONTROL & SOIL STABILIZATION PROGRAM:**

1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:
 

TYPE	% BY WEIGHT
CREeping RED RESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS/ACRE  
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

**SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:**

1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. INSTALL TEMPORARY SEDIMENT BASIN. REFER TO CONSTRUCTION DETAIL SHEET C-5 FOR FULL INSTALLATION PROCEDURE AND INSPECTION AND MAINTENANCE REQUIREMENTS.
4. INSTALL TEMPORARY DIVISIONS AS REQUIRED TO DIRECT RUNOFF TO SEDIMENT BASIN.
5. BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
6. COMPLETE SITE GRADING.
7. INSTALL BMPs IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
8. COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
9. FLUSH AND/OR REPAIR DRAINAGE AREAS AS NEEDED.
10. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

**SEDIMENTATION CONTROL PROGRAM:**

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

**SOIL EROSION & SEDIMENTS CONTROL PLAN**  
FOR  
**A.P. 13, LOT 39**  
SITUATED AT  
**20 GODDARD DRIVE**  
**CRANSTON, RHODE ISLAND**  
PREPARED FOR  
**20 GODDARD LLC**

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT ONLY

**GAROFALO**

**GAROFALO & ASSOCIATES, INC.**  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

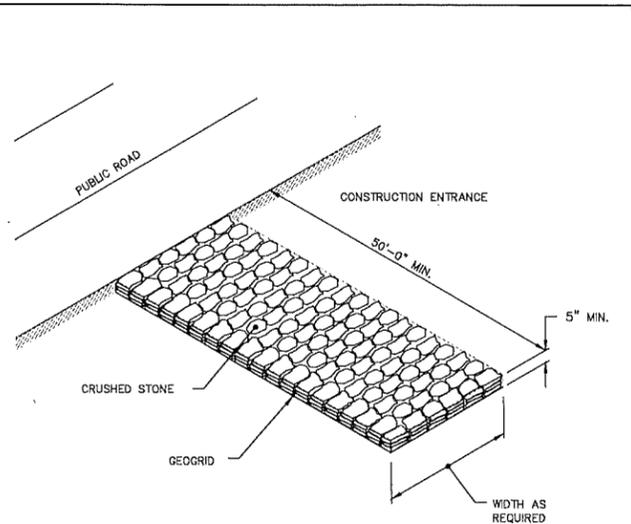
Garofalo & Associates, Inc. these drawings are the property of and shall remain the property of Garofalo & Associates, Inc. No part of this drawing is to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the owner or one of its directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-8000

JOB NO. 7287.00	DRAWN BY RAS
DWG. NO. 7287.00-Base.dwg	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET  
**C-5**  
7 OF 13 SHEETS





NOTE:  
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

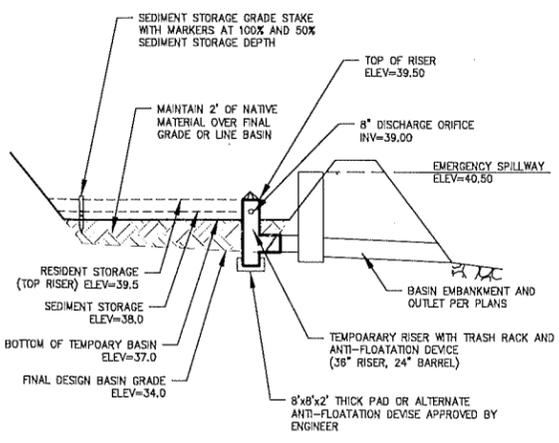
REVISIONS		
NO.	BY	DATE

**RHODE ISLAND DEPARTMENT OF TRANSPORTATION**  
**CONSTRUCTION ACCESS**

JUNE 15, 1998  
ISSUE DATE

R.I. STANDARD  
**9.9.0**

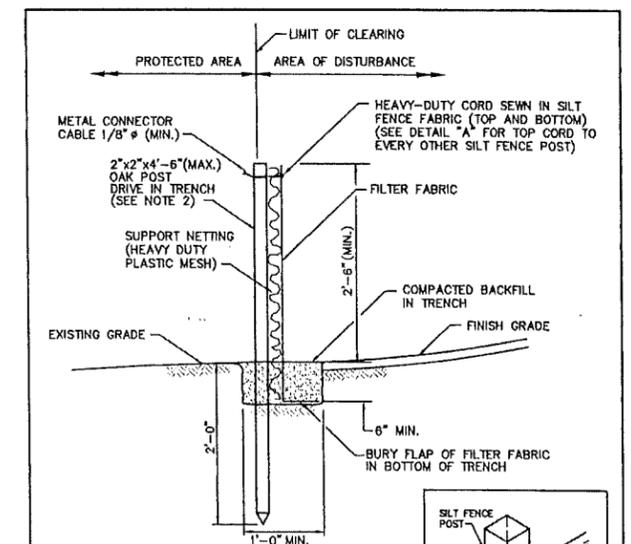
- INSTALLATION NOTES:**
- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
  - REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE INCHES AND OTHER DEBRIS.
  - EXCAVATE THE OUTLET APRON/PAD AREA FIRST, TO USE AS A SEDIMENT TRAP DURING CONSTRUCTION OF THE BASIN.
  - EXCAVATE SEDIMENT STORAGE VOLUME/AREA AND CONSTRUCT THE EMBANKMENT AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS
    - SEE FINAL INSTALLATION DETAILS FOR EMBANKMENT CORE REQUIREMENTS.
    - MAINTAIN 2' NATIVE MATERIAL ABOVE FINAL GRADES. INSTALL LINER IF 2' IS NOT MAINTAINED.
    - AREAS ON WHICH FILL IS TO BE PLACED MUST BE SCARIFIED PROPER TO PLACEMENT OF FILL.
    - FILL MUST BE CLEAN MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, STUMPS, SOD OVER-SIZED STONES, MAN MADE MATERIALS, OR OTHER PERISHABLE OR MATERIAL DEEMED UNSUITABLE BY THE GEOTECHNICAL ENGINEER.
    - FILL TO BE PLACED IN 6"-8" CONTINUOUS LAYERS AND COMPACTED UNTIL 95% STANDARD PROCTOR IS ACHIEVED.
    - DISCHARGE BARREL TO BE PLACED ON FIRM, EVEN FOUNDATION. INSTALL TEMPORARY SEDIMENT BASIN RISER IN-LIEU OF FLARED END.
    - A MINIMUM OF 2' OF FILL MUST BE HAND-COMPACTED OVER THE BARREL BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
    - CONSTRUCT EARTHEN EMBANKMENT PER BASIN DETAILS AND SPECIFICATIONS, INCLUDING THE BASIN EARTHEN EMBANKMENT DETAIL (IMPERVIOUS CORE).
    - EMBANKMENT MUST BE CONSTRUCTED 10" HIGHER THAN THE DESIGN TOP OF BASIN ELEVATION TO ALLOW FOR SETTLEMENT.
  - STABILIZE ALL DISTURBED AREAS (EXCEPT THE LOWER ONE-HALF OF SEDIMENT BASIN) AS SOON AS GRADING IS COMPLETE, USING NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES BY NEW ENGLAND WETLAND PLANTS, INC. (OR APPROVED EQUAL).



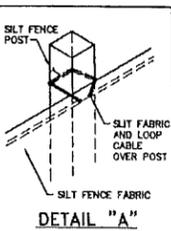
- INSPECTION AND MAINTENANCE NOTES:**
- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF THE SEDIMENT STORAGE DEPTH. THIS WILL BE THE "CLEANOUT LEVEL". REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO ONE-HALF THE SEDIMENT STORAGE DEPTH AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS. DEWATER IF NECESSARY. DEWATERING DEVICE MUST DRAIN WATER FROM THE TOP OF STANDING WATER, NOT BOTTOM.
  - DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
  - INSPECT THE BASIN AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
  - CHECK EMBANKMENT, EMERGENCY SPILLWAY AND AND OUTLET FOR EROSION DAMAGE.
  - CHECK EMBANKMENT FOR: SETTLEMENT, SEEPAGE, OR SLUMPING ALONG THE TOW OR AROUND PIPE. LOOK FOR SIGNS OF PIPING. REPAIR IMMEDIATELY.
  - REMOVE TRASH AND OTHER DEBRIS FROM DISCHARGE BARREL, EMERGENCY SPILLWAY AND POOL AREA.
  - INSPECT, REPAIR AND MAINTAIN RIPRAP OUTLET PAD.
  - INSPECT VEGETATION; RESEED AND/OR REMULCH IF NECESSARY.
  - AFTER ALL SEDIMENT-PRODUCING AREAS HAVE BEEN STABILIZED, INSPECTED AND APPROVED, REMOVE THE SEDIMENT BASIN, RESTORE AREA TO DESIGN GRADE AND STABILIZE IN ACCORDANCE WITH LANDSCAPE PLAN/COVER AS SHOWN ON APPLICABLE PLANS.

- NOTES:**
- SEDIMENT BASINS MUST MEET OR EXCEED ALL REQUIREMENTS FOR SEDIMENT BASINS AS DETAILED IN THE RI SOIL AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION).
  - IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN SAFETY OF SEDIMENT BASIN TO PROTECT HUMANS AND ANIMALS
  - BASIN SHALL BE FENCED IMMEDIATELY AFTER CONSTRUCTION.
  - SEDIMENTS SHALL BE REMOVED WHEN THEY ACCUMULATE TO 1/2 THE STORAGE DEPTH. REFER TO INSPECTION AND MAINTENANCE NOTES (THIS SHEET).

**TEMPORARY SEDIMENT BASIN**  
N.T.S.



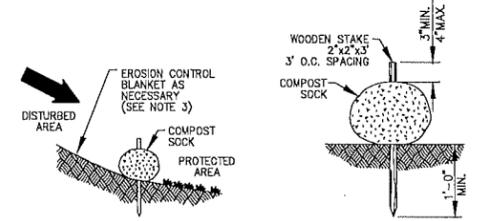
- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 208 OF THE R.I. STANDARD SPECIFICATIONS.
  - 2"x2"x4'-6"(MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0"(MAX.) O.C. IN WETLAND AREAS AND 4'-0"(MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  - 1"x1"x4'-6"(MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



**RHODE ISLAND DEPARTMENT OF TRANSPORTATION**  
**SILT FENCE DETAIL**

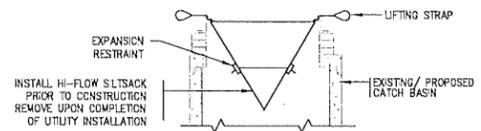
JUNE 15, 1998  
ISSUE DATE

R.I. STANDARD  
**9.2.0**

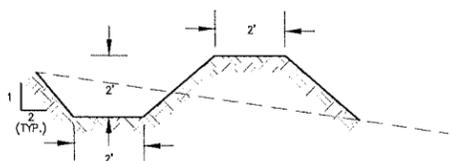


- NOTES:**
- COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
  - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  - WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
  - ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
  - REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
  - NO STAKES ARE REQUIRED WHERE COMPOST SOCK IS INSTALLED ON PAVEMENT.

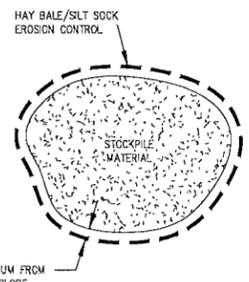
**COMPOST SILT SOCK DETAIL**  
N.T.S.



**SILTSACK® AT CATCH BASIN DETAIL**  
N.T.S.



**TEMPORARY DITCH/DIKE**  
N.T.S.



**STOCKPILE DETAIL**  
N.T.S.

**CONSTRUCTION DETAILS - 1**  
FOR  
**A.P. 13, LOT 39**  
SITUATED AT  
**20 GODDARD DRIVE**  
**CRANSTON, RHODE ISLAND**  
PREPARED FOR  
**20 GODDARD LLC**

NO.	REVISION	BY	DATE

ISSUED FOR  
PERMIT ONLY

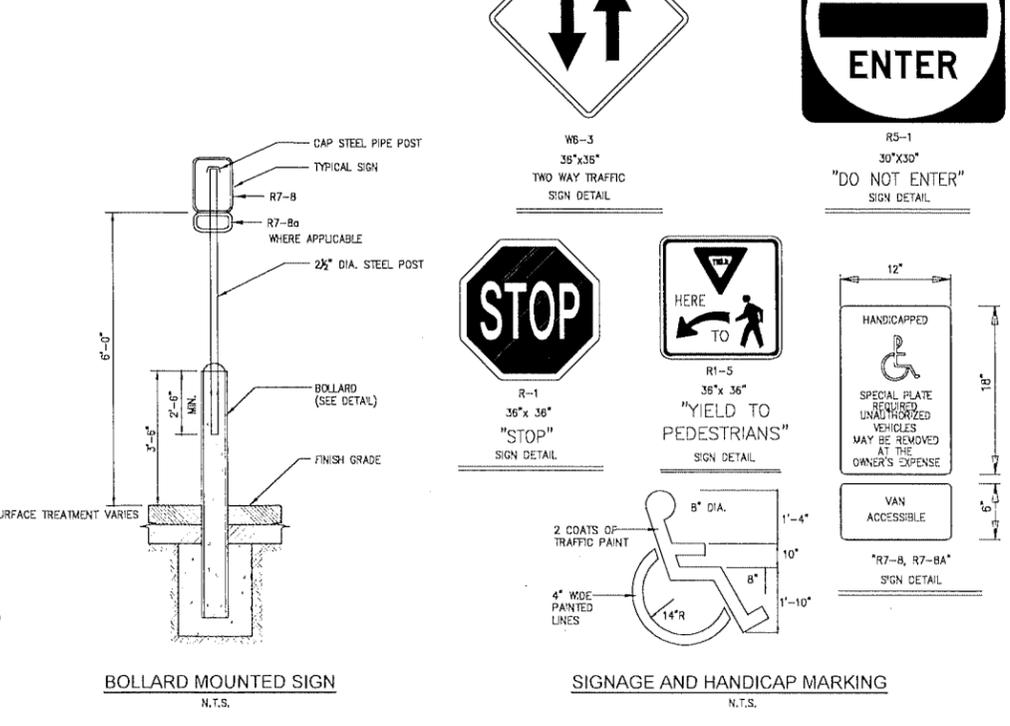
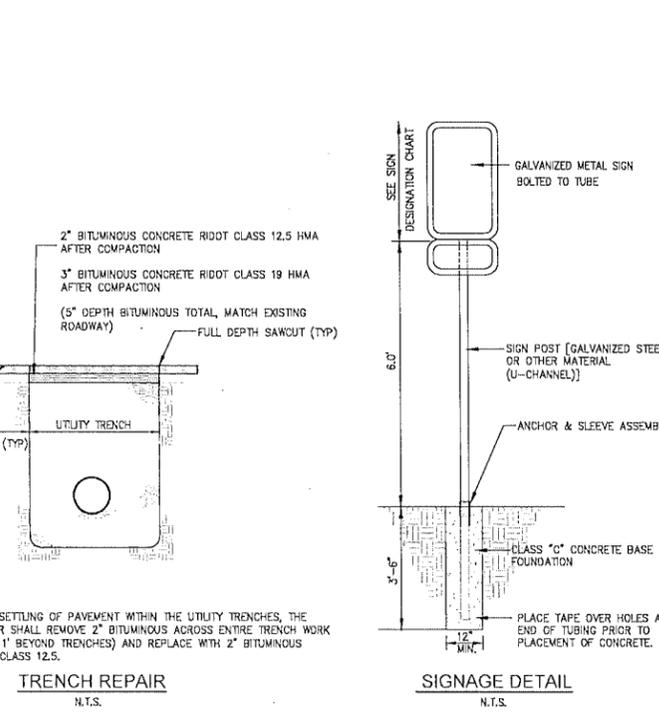
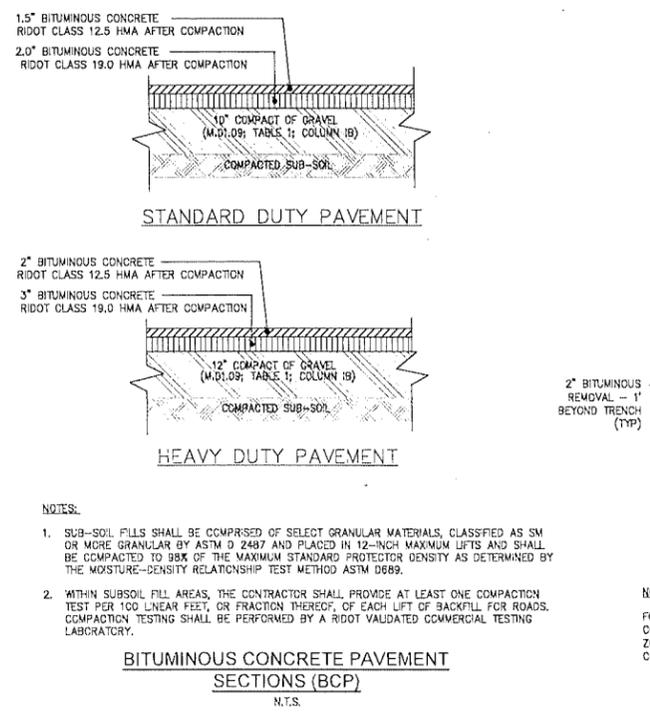
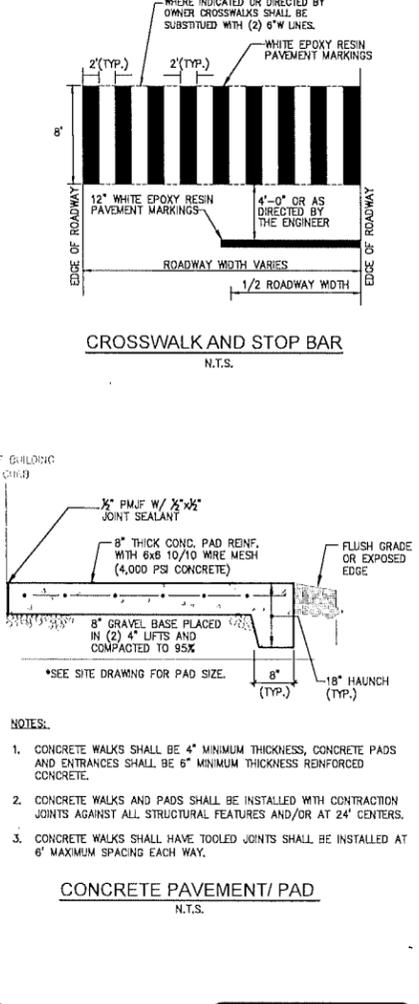
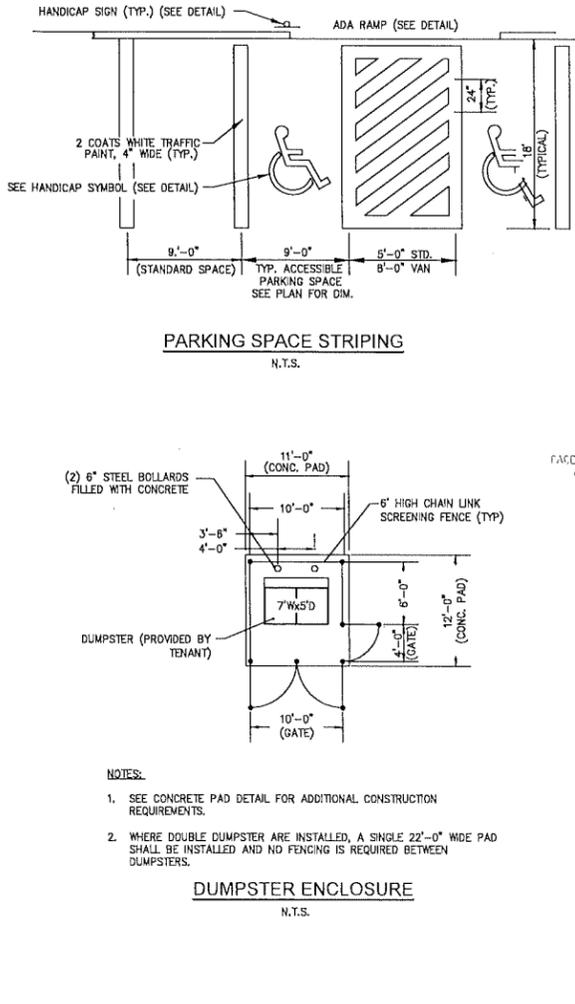
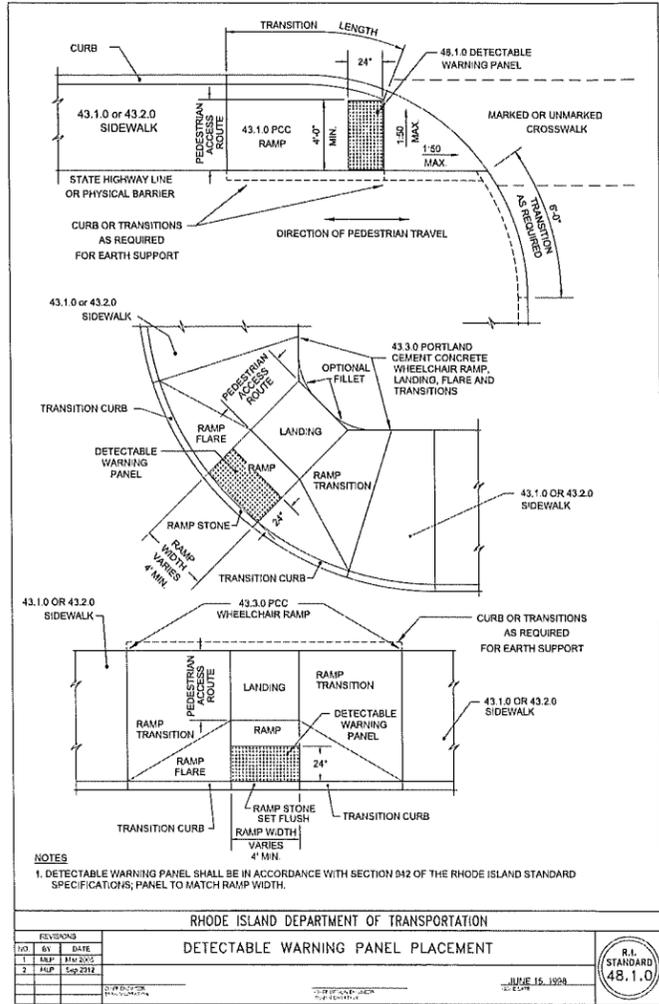
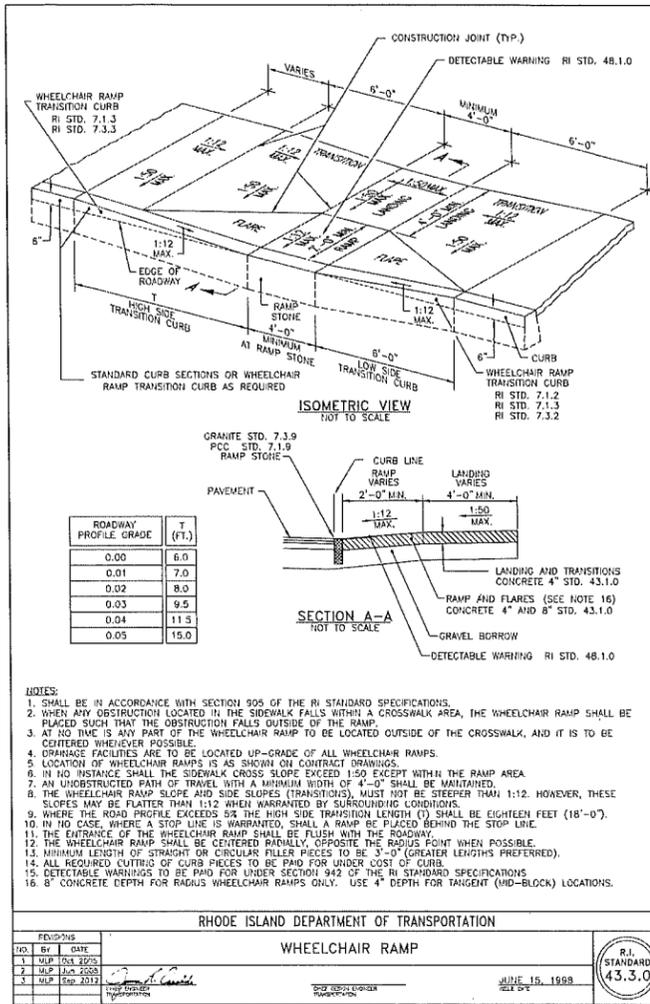
**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-8000

Garofalo & Associates ©  
These drawings are the property of  
Garofalo & Associates, Inc. and shall  
not be used for any other project  
without the written consent of  
Garofalo & Associates, Inc.

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Details	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET  
**C-6**  
8 OF 13 SHEETS



CONSTRUCTION DETAILS - 2  
FOR  
A.P. 13, LOT 39  
SITUATED AT  
20 GODDARD DRIVE  
CRANSTON, RHODE ISLAND  
PREPARED FOR  
20 GODDARD LLC

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT ONLY

**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-8000

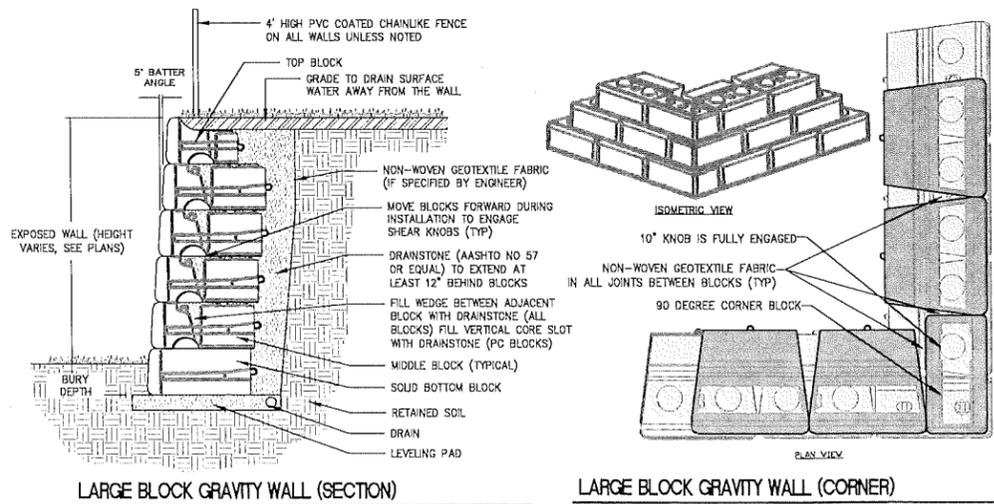
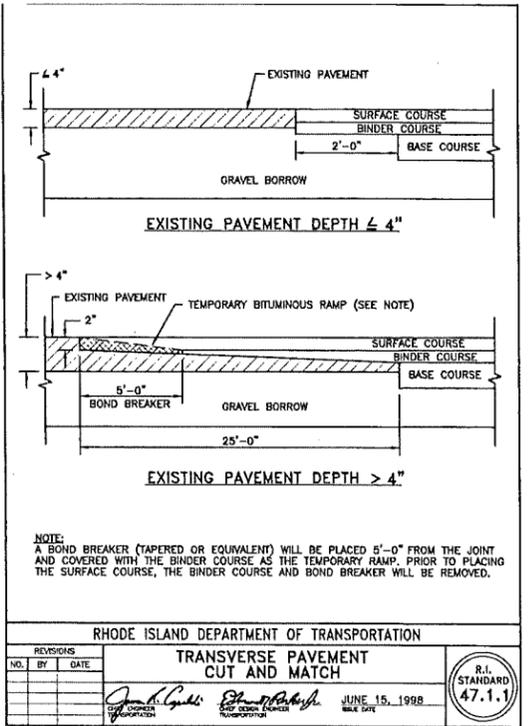
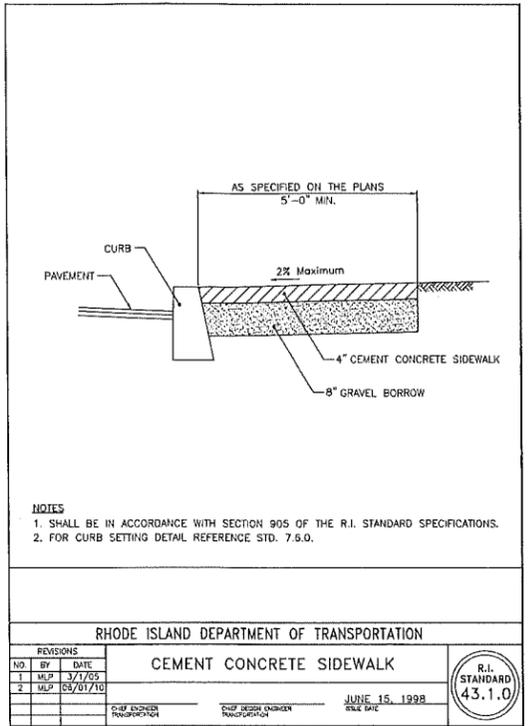
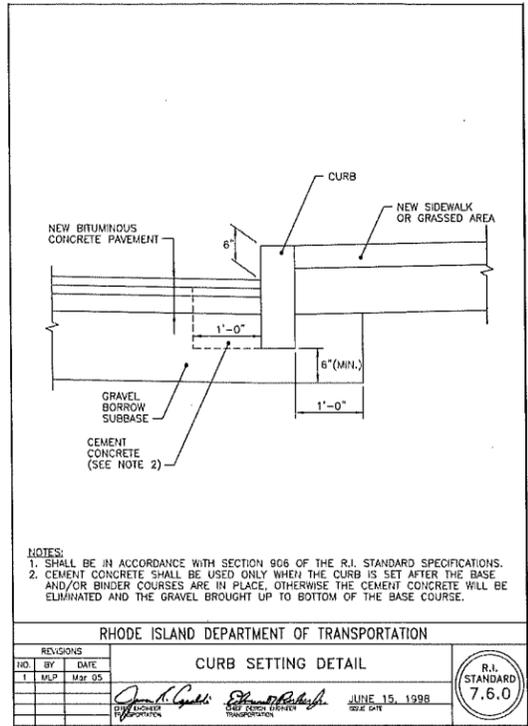
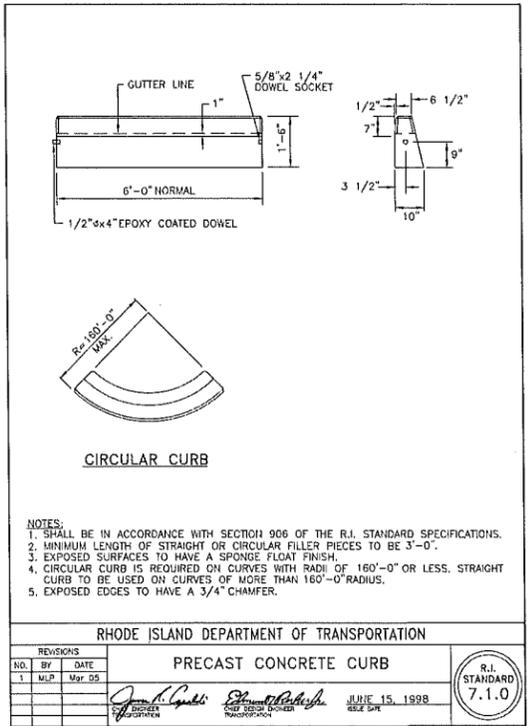
Garofalo & Associates ©  
These drawings are the property of Garofalo & Associates, Inc. and are prepared for the owner for this project at this site and are not to be used for any other project without the written consent of the owner or one of its directors.

JOB NO. 7287.00  
DWG. NO. 7287.00-Details  
SCALE: AS SHOWN

DRAWN BY KYY  
CHECK BY SHH  
APPROVED SHH  
DATE: JULY 08, 2022

SHEET  
**C-7**  
9 OF 13 SHEETS

L:\287-00 Goddard Warehouse (Churchill & Bonke) - Cranston, RI\env\01-Curren\287\job-Details.dwg 07/19/2022 kypjps 11:51



**NOTES:**

1. DETAILS INDICATED HEREON ARE FOR TYPICAL MODULAR BLOCK INSTALLATION, THE CONTRACTOR SHALL SUBMIT DETAIL STAMPED SHOP DRAWINGS FOR FINAL WALL CONSTRUCTION.
2. BASIS OF DESIGN: REDI-ROCK POSITIVE CONNECTION (PC) SYSTEM, "LIMESTONE".

**LARGE BLOCK RETAINING WALL**  
N.T.S.

CONSTRUCTION DETAILS - 3  
FOR  
A.P. 13, LOT 39  
SITUATED AT  
20 GODDARD DRIVE  
CRANSTON, RHODE ISLAND  
PREPARED FOR  
20 GODDARD LLC

NO.	REVISION	BY	DATE

NO.	BY	DATE

ISSUED FOR PERMIT ONLY

**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

Garofalo & Associates ©  
These drawings are the property of Garofalo & Associates, Inc. and are prepared for the owner, for this project only. This information is not to be used for any other project without the written consent of the owner or one of its directors.

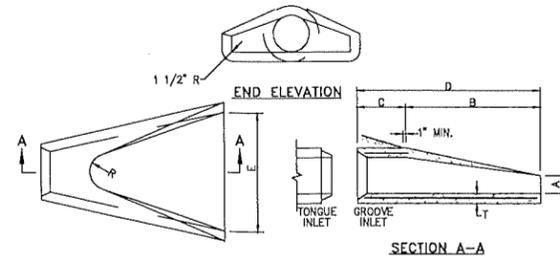
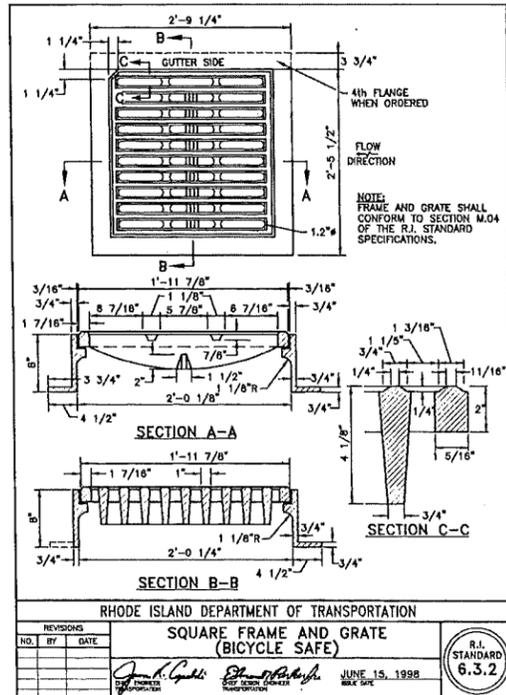
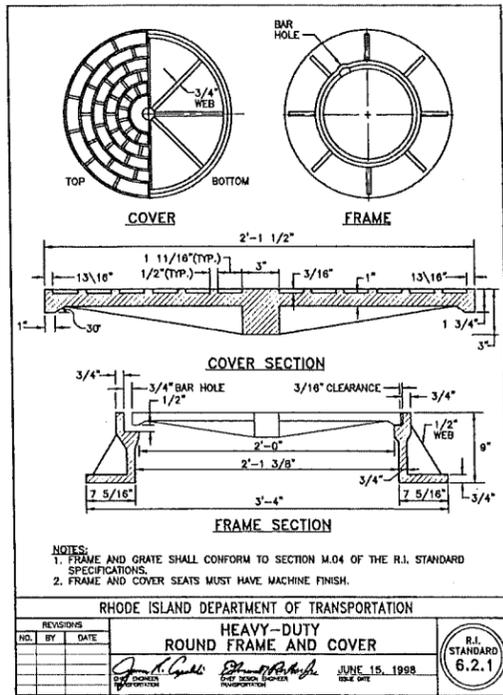
JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Details	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET

**C-8**

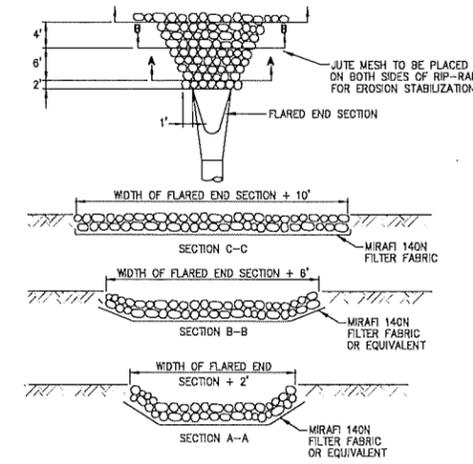
10 OF 13 SHEETS

L:\7287-00 Goddard Warehouse (Churchill & Barne) - Cranston, RI\veg\01-Curren\7287-00-Details.dwg 07/19/2022 11:52

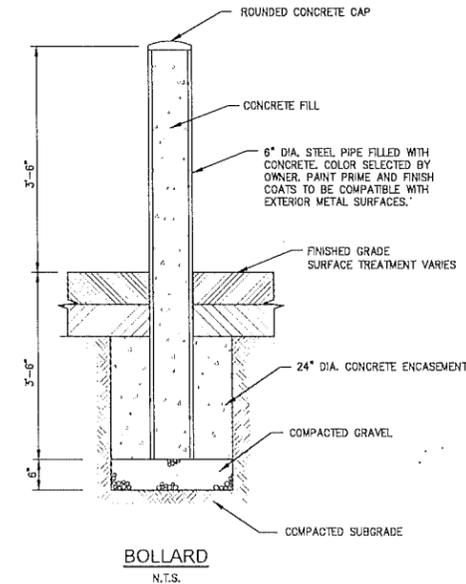
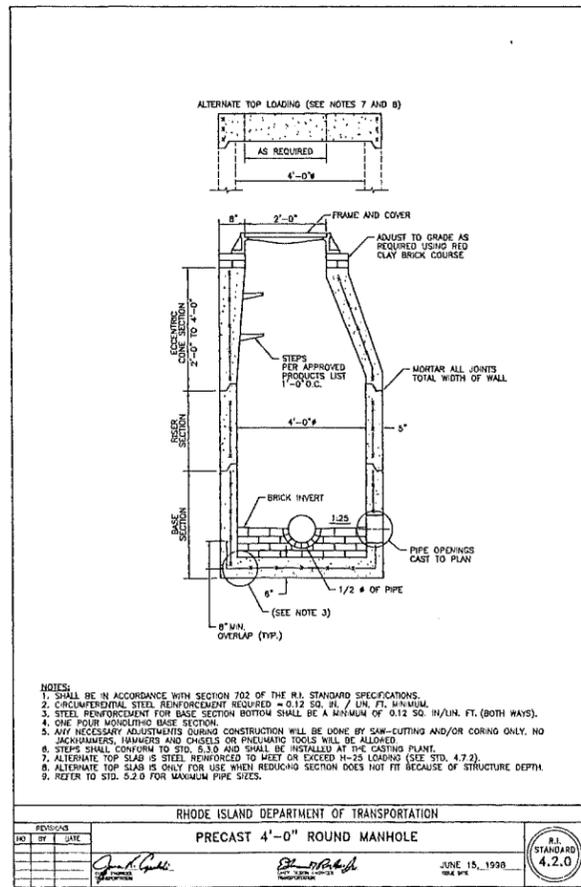
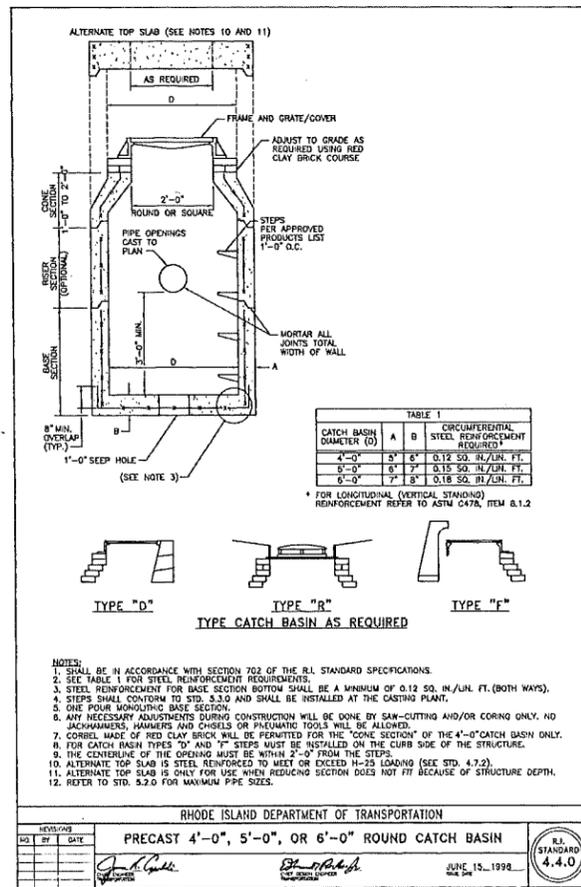


DIMENSIONS								REINFORCEMENT
DIA.	A	B	C	D	E	R	T	ONE LAYER REINFORCEMENT IN CENTER OF WALL MIN. AREA OF EACH WAY (SQ. IN./FT.)
1'-0"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	2"	0.048
1'-3"	8"	2'-3"	3'-10"	6'-1"	2'-6"	11"	2 1/4"	0.054
1'-6"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	2 1/2"	0.060
2'-0"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	1'-2"	3"	0.072
2'-6"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	1'-3"	3 1/2"	0.084
3'-0"	1'-3"	5'-3"	2'-10 3/4"	6'-1 3/4"	6'-0"	1'-8"	4"	0.096
3'-6"	1'-9"	5'-3"	2'-11"	6'-2"	6'-6"	1'-10"	4 1/2"	0.108
4'-0"	2'-0"	6'-0"	2'-2"	6'-2"	7'-0"	1'-10"	5"	0.120
4'-6"	2'-3"	5'-5"	2'-11"	6'-4"	7'-0"	2'-0"	5 1/2"	0.132
5'-0"	2'-6"	5'-0"	3'-3"	6'-3"	8'-0"	2'-0"	6"	0.144

NOTE: SHALL BE IN ACCORDANCE WITH SECTION 701 OF THE R.I. STANDARD SPECIFICATIONS.



NOTES:  
1. UNLESS OTHERWISE SPECIFIED, CLASS "C" RIP-RAP IS TO BE USED FOR ALL FLARED ENDS.  
2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.  
3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.  
4. USE ONLY SECTION A-A FOR ROOF DRAINS.



CONSTRUCTION DETAILS - 4  
FOR  
A.P. 13, LOT 39  
SITUATED AT  
20 GODDARD DRIVE  
CRANSTON, RHODE ISLAND  
PREPARED FOR  
20 GODDARD LLC

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT ONLY

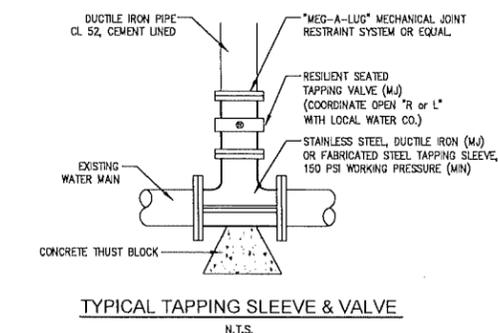
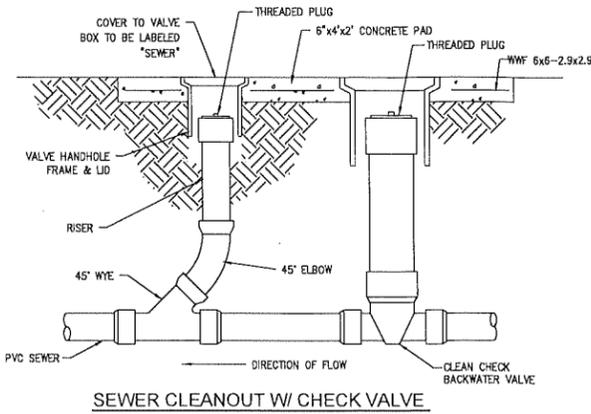
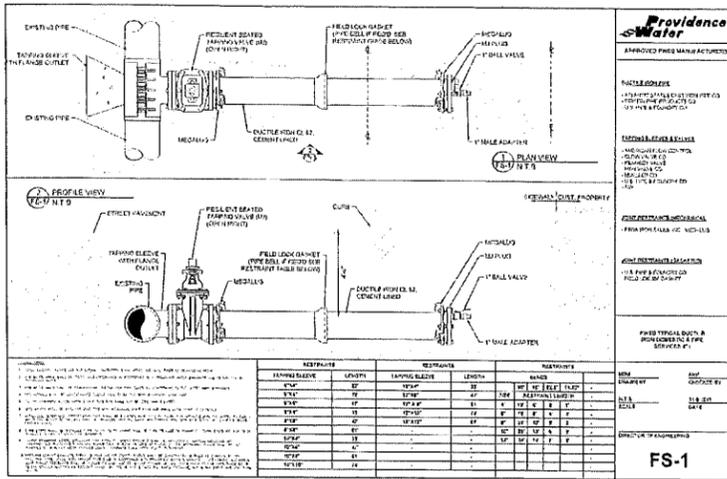
**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Details	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

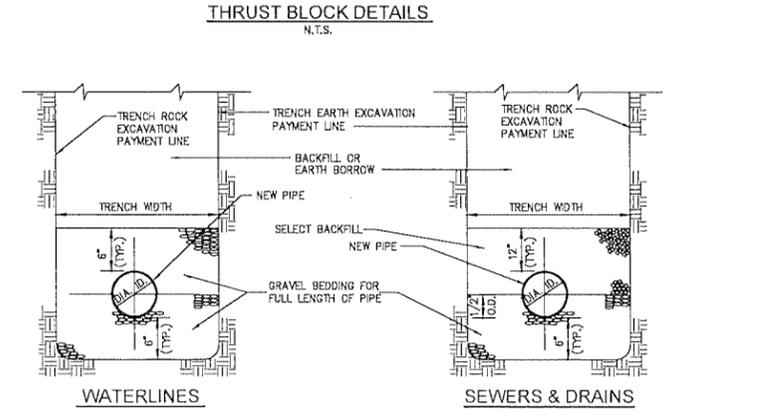
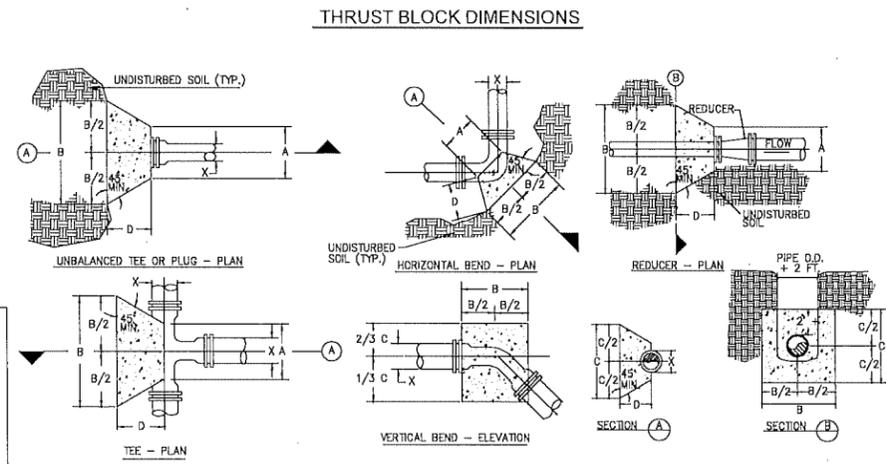
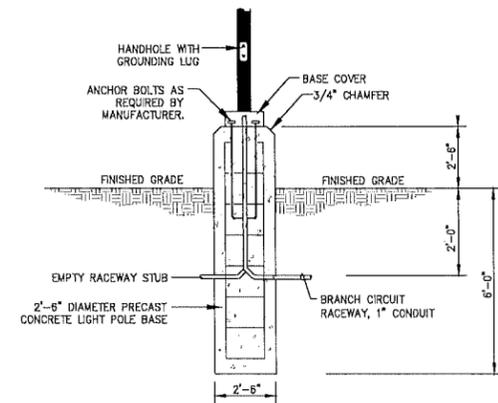
SHEET  
**C-9**  
11 OF 13 SHEETS





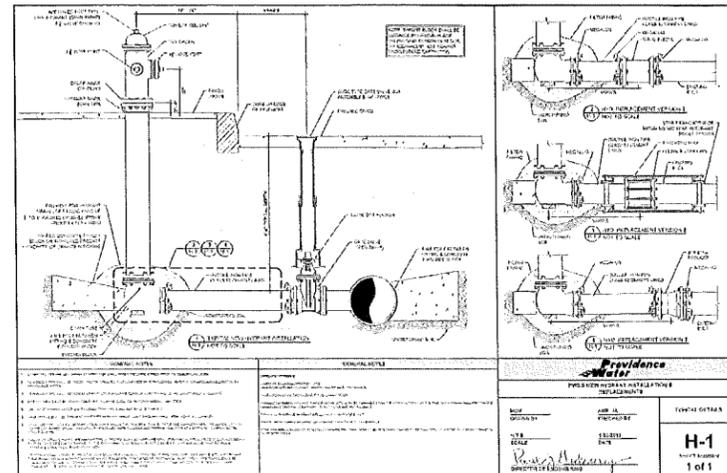
Line Pressure = 150 PSI  
Soil Pressure = 2000 PSF

Pipe Size X	A	B	C	D	VOL. CONC.
90 DEGREE BEND					
8" 0'-10"	1'-11"	1'-11"	1'-8"	1'-0"	4.4 CF
8" 0'-10"	2'-7"	2'-7"	1'-5"	1'-0"	7.6 CF
12" 0'-10"	3'-10"	3'-10"	1'-5"	1'-0"	14.4 CF
22-1/2 DEGREE BEND					
8" 0'-10"	1'-0"	1'-0"	1'-0"	1'-0"	1.4 CF
8" 0'-10"	1'-4"	1'-4"	1'-0"	1'-0"	1.5 CF
12" 0'-10"	2'-0"	2'-0"	1'-0"	1'-0"	3.6 CF
TEE & PLUG					
8" 0'-10"	1'-8"	1'-8"	1'-3"	3/4"	3.8 CF
8" 0'-10"	2'-2"	2'-2"	1'-3"	3/4"	4.8 CF
12" 0'-10"	3'-3"	3'-3"	1'-3"	3/4"	8.8 CF
45 DEGREE BEND					
8" 0'-10"	1'-8"	1'-8"	1'-0"	2.4 CF	
8" 0'-10"	1'-11"	1'-11"	1'-0"	3.4 CF	
12" 0'-10"	2'-10"	2'-10"	1'-0"	6.4 CF	
11-1/4 DEGREE BEND					
8" 0'-10"	1'-0"	1'-0"	1'-0"	0.7 CF	
8" 0'-10"	1'-0"	1'-0"	1'-0"	1.4 CF	
12" 0'-10"	1'-8"	1'-8"	1'-0"	2.8 CF	



PIPE (D.I.) TRENCH WIDTH

PIPE (D.I.)	TRENCH WIDTH
4" - 12"	DIA + 2'-0"
15" - 24"	DIA + 2'-0"
27" - 36"	DIA + 2'-0"
COVER 36"	DIA + 3'-0"



### AREA & ROADWAY LIGHTING

#### RAZAR SERIES - LED

##### LOW PROFILE AREA LUMINAIRE

**Optical Housing**  
RZR has low glare optical housing (4000 lumens) with a 2.5 degree beam spread. The optical housing is designed to provide uniform illumination and minimize light spillage. The optical housing is made of high quality polycarbonate and is resistant to impact and UV radiation.

**Backlight Housing w/ Integrated Arm**  
RZR has a backlight housing with an integrated arm. The backlight housing is made of high quality polycarbonate and is resistant to impact and UV radiation. The integrated arm allows for easy installation and adjustment of the luminaire.

**LED Optics**  
RZR has LED optics that provide uniform illumination and minimize light spillage. The LED optics are made of high quality polycarbonate and are resistant to impact and UV radiation.

**LED Driver(s)**  
RZR has LED driver(s) that provide uniform illumination and minimize light spillage. The LED driver(s) are made of high quality polycarbonate and are resistant to impact and UV radiation.

**LED Emitter**  
RZR has LED emitter that provide uniform illumination and minimize light spillage. The LED emitter is made of high quality polycarbonate and is resistant to impact and UV radiation.

**Amber LED's**  
RZR has Amber LED's that provide uniform illumination and minimize light spillage. The Amber LED's are made of high quality polycarbonate and are resistant to impact and UV radiation.

**Finish**  
RZR has a finish that provides uniform illumination and minimize light spillage. The finish is made of high quality polycarbonate and is resistant to impact and UV radiation.

**Most Arm & Backlight Housing**  
RZR has most arm & backlight housing that provide uniform illumination and minimize light spillage. The most arm & backlight housing is made of high quality polycarbonate and is resistant to impact and UV radiation.

PROJECT NAME: \_\_\_\_\_  
PROJECT TYPE: \_\_\_\_\_

RZR (MODEL NO. RZR-G & RZR-M)

RZR-G

RZR & RZR-M

RZR-MAF

FEATURE	A	B	C	D
RZR-G	11"	19"	7"	7"
RZR	14.75"	18.5"	7.75"	4.5"
RZR-M	11.5"	21"	7.5"	1.75"
RZR-MAF	11"	18.75"	4.5"	8"

UL Listed

USA

U.S. ARCHITECTURAL

CONSTRUCTION DETAILS - 6  
FOR  
A.P. 13, LOT 39  
SITUATED AT  
20 GODDARD DRIVE  
CRANSTON, RHODE ISLAND  
PREPARED FOR  
20 GODDARD LLC

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT ONLY

## GAROFALO

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

Garofalo & Associates ©  
These drawings are the property of Garofalo & Associates, Inc. and shall remain the property of the owner. No part of this project or these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of one of our directors.

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Details	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET

# C-11

13 OF 13 SHEETS



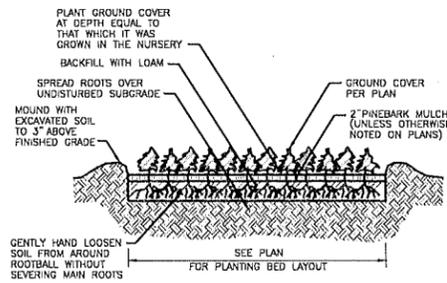
**GENERAL LANDSCAPE NOTES:**

- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
- INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
- STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFFSET LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
- PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OR OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
- PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
- UTILITIES: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL UTILITY DAMAGE INCLUDING DAMAGE THAT MAY OCCUR TO NEW UTILITIES. THE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE PRIOR TO COMMENCING ANY SITE CONSTRUCTION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.
- DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.

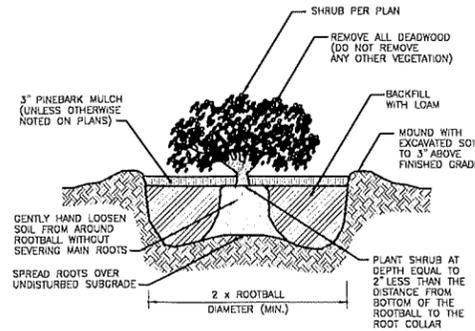
**LOAM AND SEEDING**

APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

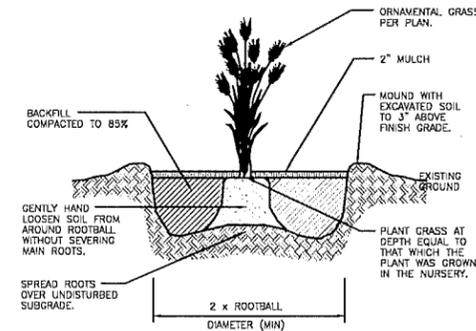
- LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 1993, FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
- LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIAL. ALL EXISTING LOAM REMAINS THE PROPERTY OF THE OWNER.
- LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
- THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
- LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEDED, UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
- ALL SEED DELIVERED TO THE JOB SHALL BE IN CONTAINERS LABELED IN ACCORDANCE WITH PROVISIONS OF THE RHODE ISLAND SEED ACT OF 1956 (VOLUME B, TITLE 2, CHAPTER 6) AND ITS AMENDMENTS AS PROVIDED FOR AGRICULTURAL SEED OFFERED FOR SALE. ONLY THE CURRENT YEARS SEED SHALL BE ACCEPTED.
- SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:  
SPRING SEEDING: MARCH 15 TO MAY 31,  
FALL SEEDING: AUGUST 15 TO OCTOBER 15.
- THE CONTRACTOR SHALL WATER ALL SEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.



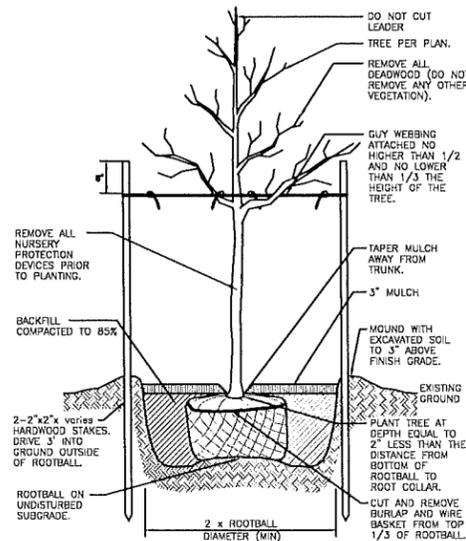
**Ground Cover Planting Detail**  
NOT TO SCALE



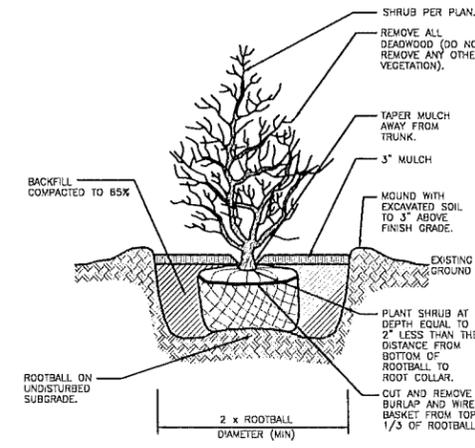
**Container Grown Shrub and Perennial Planting Detail**  
NOT TO SCALE



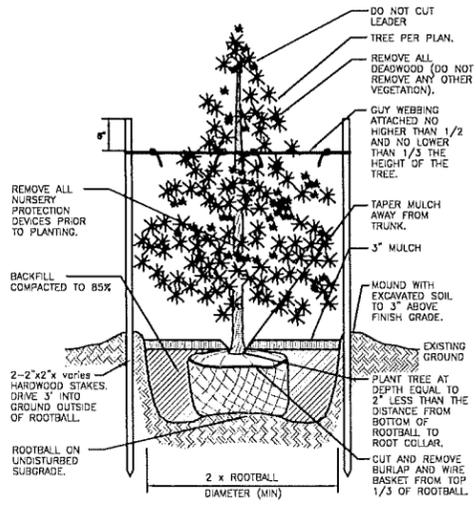
**Perennial Planting Detail**



**Canopy Tree Planting Detail**  
NOT TO SCALE



**B & B Shrub Planting Detail**  
NOT TO SCALE



**Evergreen Tree Planting Detail**  
NOT TO SCALE

**PLANT LIST:**

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AR	ACER RUBRUM 'BRASSIAE' RED SWAMP MAPLE	23	2'-2.5' CAL	
HT	NYSSA SILVATICA BLACK Tupelo	9	2'-2.5' CAL	
QP	QUERCUS PAU-IFLORA PIN OAK	12	2'-2.5' CAL	
TC	TRICHODIA GREENPINE GREENPINE LITTLELEAF UNDEN	22	2'-2.5' CAL	

FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
FR	FRAXINUS PEDUNCULATA YOSHINO CHERRY	6	7'-8' CLUMP	
AC	AVELANCHA DANAEAE SHADBLOW SERVICEBERRY	7	7'-8' CLUMP	

EVERGREEN/DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AD	ADONIS GERANIIFLORA 'VALLEY WHITE' WHITE AZALEA	10	#3 CONTAINER	
ES	ERUKIA SYMPHYKARIS 'VARDAR VALLEY' VARDAR VALLEY BONAWOOD	16	#3 CONTAINER	
OS	OSMORHIZA HIRSHII REDTIP ODOORLESS KELSEY	10	#3 CONTAINER	
IS	ILEX GLABRA 'CONTACTA' COMPACT HICKBERRY	23	#3 CONTAINER	
HI	HAYNARDIA INTERMEDIA 'RUBY GLOW' RUBY GLOW WITCHHAZEL	4	#3 CONTAINER	
HM	HYDRANGEA M. ENNIS SUMMER ENDLESS SUMMER HYDRANGEA	12	CONTAINER	
RR	ROSA RADON 'KNOCK OUT PINK' PINK KNOCK OUT ROSE	15	CONTAINER	
SH	SARGOLLOSA MOCCERIANA SWEET GEEK	14	CONTAINER	

PERENNIALS/GROUNDCOVERS/ VINES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
HF	HOSTA 'HEAVEN ICE' PURE AND ICE HOSTA	12	CONTAINER	
PS	PEPEROMIA 'STELLA DE CRO' STELLA DE CRO DUNEY	54	CONTAINER	
WP	WEINMANNIA WALKERIS 'LOW' WALKER'S LOW CATNIP	20	CONTAINER	
RI	RHEBECIA RHEBA BLACK EYED SUSAN	16	CONTAINER	
VM	VIRGA VIRGATA 'BOWLES' COMMON FERNBRIAR	97	114" # CLUMP	
LS	LITTELLIA 'LITTLE BLUE' LITTLE BLUESTEM	14	CONTAINER	

\* QUANTITY SHOWN IS FOR NUMBER OF INDIVIDUAL PLANT REQUIRED.  
CONTRACTOR SHALL USE PLANTS WHEN AVAILABLE.

GENERAL SEEDING MIX (L&S)		
	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90
APPLICATION RATE: 200 LBS / ACRE		

**LANDSCAPE DETAILS PLAN**  
 FOR  
**A.P.13, LOT 39**  
 SITUATED AT  
**20 GODDARD DRIVE**  
**CRANSTON, RHODE ISLAND**  
 PREPARED FOR  
**20 GODDARD LLC**

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT ONLY

**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**LAND PLANNERS/ENVIRONMENTAL SCIENTISTS**

85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL: 401-275-6000

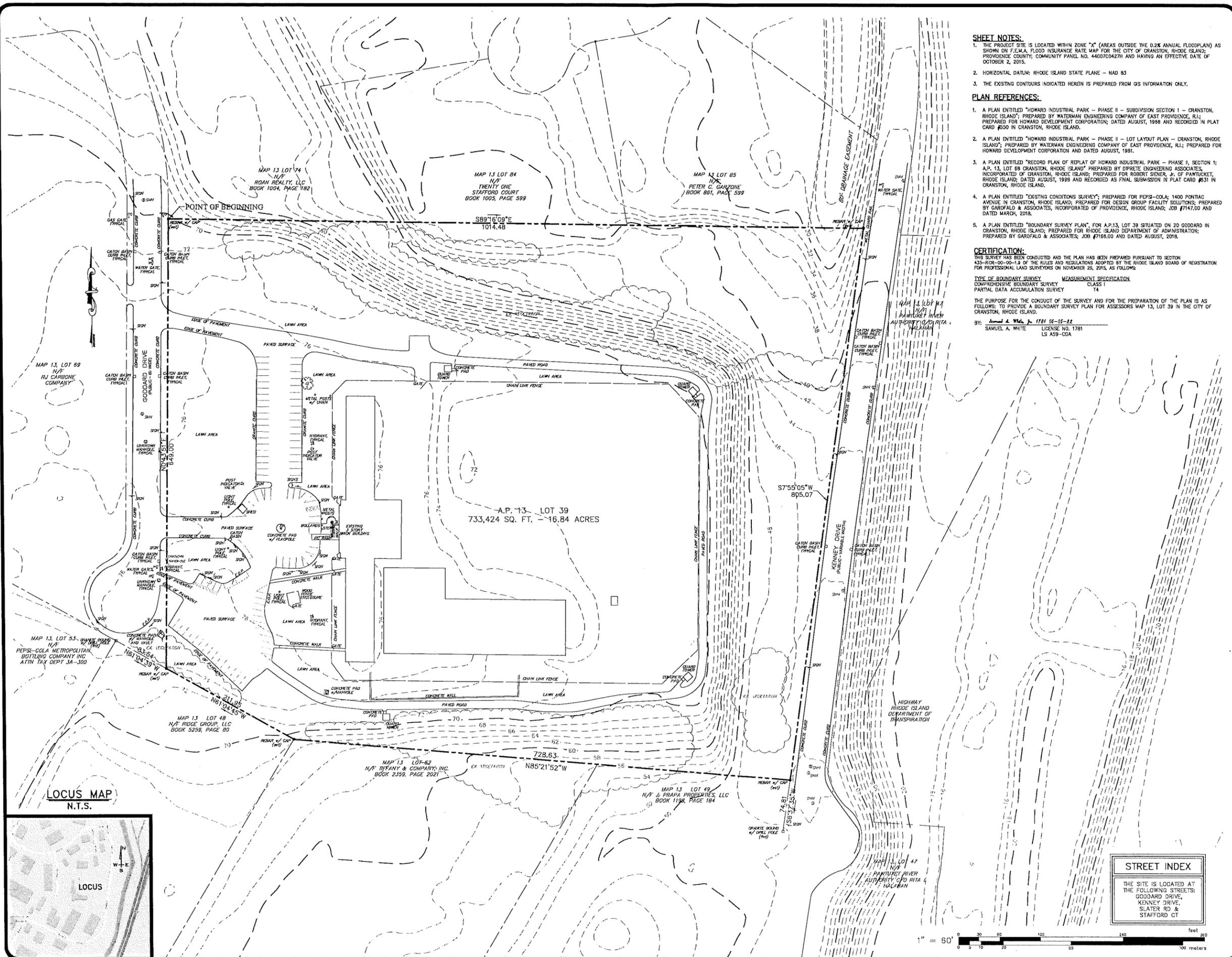
Garofalo & Associates, Inc. is a member of the Garofalo Group and the work shown herein was prepared for the owner for this project. The information is not to be used for any other project without the written consent of the owner or one of its directors.

JOB NO. 7287.00	DRAWN BY KYY
DWG. NO. 7287.00-Land.dwg	CHECK BY SHH
SCALE: AS SHOWN	APPROVED SHH
	DATE: JULY 08, 2022

SHEET

L-2

2 OF 2 SHEETS



- SHEET NOTES:**
1. THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF CRANSTON, RHODE ISLAND; PROVIDENCE COUNTY, COMMUNITY PANEL NO. 44007C0427H AND HAVING AN EFFECTIVE DATE OF OCTOBER 2, 2015.
  2. HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
  3. THE EXISTING CONTOURS INDICATED HEREIN IS PREPARED FROM QS INFORMATION ONLY.

- PLAN REFERENCES:**
1. A PLAN ENTITLED "HOWARD INDUSTRIAL PARK - PHASE II - SUBDIVISION SECTION 1 - CRANSTON, RHODE ISLAND", PREPARED BY WATERMAN ENGINEERING COMPANY OF EAST PROVIDENCE, R.I.; PREPARED FOR HOWARD DEVELOPMENT CORPORATION; DATED AUGUST, 1988 AND RECORDED IN PLAT CARD #59 IN CRANSTON, RHODE ISLAND.
  2. A PLAN ENTITLED "HOWARD INDUSTRIAL PARK - PHASE II - LOT LAYOUT PLAN - CRANSTON, RHODE ISLAND", PREPARED BY WATERMAN ENGINEERING COMPANY OF EAST PROVIDENCE, R.I.; PREPARED FOR HOWARD DEVELOPMENT CORPORATION AND DATED AUGUST, 1981.
  3. A PLAN ENTITLED "RECORD PLAN OF REPLAT OF HOWARD INDUSTRIAL PARK - PHASE II, SECTION 1; A.P. 13, LOT 89 CRANSTON, RHODE ISLAND" PREPARED BY D'ERRE ENGINEERING ASSOCIATES, INCORPORATED OF CRANSTON, RHODE ISLAND; PREPARED FOR ROBERT SIENER, JR. OF PANTUCKET, RHODE ISLAND; DATED AUGUST, 1988 AND RECORDED AS FINAL SUBMISSION IN PLAT CARD #31 IN CRANSTON, RHODE ISLAND.
  4. A PLAN ENTITLED "EXISTING CONDITIONS SURVEY", PREPARED FOR PEPIS-COLA; 1400 PONTIAC AVENUE IN CRANSTON, RHODE ISLAND; PREPARED FOR DESIGN GROUP FACILITY SOLUTIONS; PREPARED BY GAROFALO & ASSOCIATES, INCORPORATED OF PROVIDENCE, RHODE ISLAND; JOB #7147.00 AND DATED MARCH, 2018.
  5. A PLAN ENTITLED "BOUNDARY SURVEY PLAN", FOR A.P.13, LOT 39 SITUATED ON 20 GODDARD IN CRANSTON, RHODE ISLAND; PREPARED FOR RHODE ISLAND DEPARTMENT OF ADMINISTRATION; PREPARED BY GAROFALO & ASSOCIATES; JOB #7168.00 AND DATED AUGUST, 2018.

**CERTIFICATION:**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-ROR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

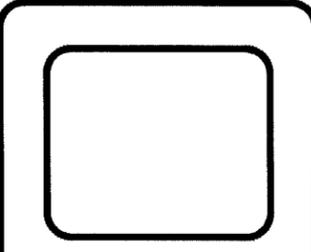
**TYPE OF BOUNDARY SURVEY:** COMPREHENSIVE BOUNDARY SURVEY CLASS 1  
**MEASUREMENT SPECIFICATION:** PARTIAL DATA ACCUMULATION SURVEY CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE A BOUNDARY SURVEY PLAN FOR ASSESSORS MAP 13, LOT 39 IN THE CITY OF CRANSTON, RHODE ISLAND.

BY: Samuel A. White, Jr. 1781 05-05-22  
 SAMUEL A. WHITE LICENSE NO. 1781  
 LS A59-COA

**EXISTING CONDITIONS PLAN**  
 FOR  
**A.P. 13, LOT 39**  
 SITUATED ON  
**20 GODDARD DRIVE**  
**CRANSTON, RHODE ISLAND**  
 PREPARED FOR  
**20 GODDARD LLC**

NO.	REVISION	BY	DATE



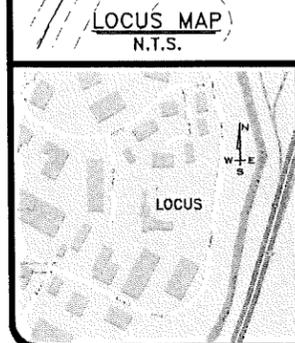
**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
 P.O. BOX 5145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

Garofalo & Associates ©  
 These drawings are the property of  
 Garofalo & Associates, Inc. and  
 prepared for the owner. For this  
 project at this site and are not to  
 be used for any other project  
 location or owner without written  
 consent of this owner or one of its  
 directors.

JOB NO. 7287.00	DRAWN BY DRD
DWG. NO. 7287.00-ECS.dwg	CALCS BY SAW
SCALE: 1"=60'	APPROVED SAW
	DATE: APRIL 2022

SHEET  
**ECS**  
 1 OF 1 SHEET



**STREET INDEX**  
 THE SITE IS LOCATED AT  
 THE FOLLOWING STREETS:  
 GODDARD DRIVE,  
 KENNEY DRIVE,  
 SLATER RD &  
 STAFFORD CT

